



# REQUEST FOR PROPOSAL

## GENERAL CONTRACTOR SERVICES

### O'FARRELL SENIOR HOUSING PROJECT - PHASE 2 | CONSTRUCTION

Four (4) Accessory Dwelling Units

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## PROJECT OVERVIEW

**Project Name:** O'Farrell Senior Housing Project - Phase 2 ADU Development

**Project Owner:** Homes First

**Project Location:** 721 O'Farrell Avenue SE, Olympia, WA 98501

**Parcel Number:** 83700000801

**Project Type:** Affordable Senior Housing - Four (4) Accessory Dwelling Units

## FUNDING SOURCE

This project is funded through a variety of public sources including HUD Washington State Housing Trust Fund and Thurston County Housing & Homeless Services Department, with total Phase 2 construction costs estimated at \$1,852,855.

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## SCOPE OF WORK

### GENERAL DESCRIPTION

Homes First seeks qualified general contractors to provide comprehensive construction services for the development of four (4) new accessory dwelling units (ADUs) on an existing residential property. The project includes:

- **ADU 1:** 480 SF
- **ADU 2:** 480 SF



- **ADU 3:** 600 SF
- **ADU 4:** 600 SF
- Associated site improvements, utilities, and accessibility features

## **DETAILED SCOPE INCLUDES:**

### **SITE PREPARATION & INFRASTRUCTURE**

- Site clearing, grading, and excavation
- Soil stabilization and compaction
- Erosion and sediment control measures
- Demolition of existing structures as required
- Site surveys and utility location verification

### **UTILITIES & INFRASTRUCTURE**

- Water service connections and distribution
- Sewer and stormwater management systems
- Electrical service installation and distribution
- Natural gas connections
- Telecommunications infrastructure
- Street improvements and access roads as required

### **BUILDING CONSTRUCTION**

#### **Foundation and Structure:**

- Foundation excavation and installation
- Concrete work for footings, slabs, and walls
- Structural framing (wood construction per IRC 2021)
- Roofing system installation
- Exterior wall systems and insulation

#### **Building Systems:**

- Complete plumbing rough-in and finish work
- Complete electrical rough-in and finish work
- HVAC system installation
- Fire protection and sprinkler systems (required)
- Security and access control systems



## **INTERIOR & FINISH WORK**

- Interior framing and drywall installation
- Flooring installation (carpet, vinyl, and tile)
- Interior painting and finishes
- Kitchen and bathroom fixtures and cabinetry
- Millwork installation

## **ACCESSIBILITY & SENIOR-SPECIFIC FEATURES**

- ADA and Fair Housing Act compliance features
- Grab bars and accessibility fixtures
- Enhanced lighting for aging residents
- Non-slip flooring in critical areas
- Accessible appliances and fixtures
- Emergency call systems
- Wider doorways and accessible design elements

## **EXTERIOR & SITE IMPROVEMENTS**

- Exterior finishes (siding, brick, or stucco)
- Window and door installation
- Exterior painting and weatherproofing
- Deck, patio, and balcony construction
- Parking area construction and striping
- Sidewalks and accessible pathways
- Landscaping and irrigation systems
- Outdoor lighting installation
- Signage and mailbox cluster installation
- Onsite stormwater infiltration, including drywell(s) and rain garden(s)

## **FINAL PHASE ACTIVITIES**

- All required building code compliance inspections
- Fire safety system testing and commissioning
- Accessibility compliance verification
- Energy efficiency testing and commissioning
- Final walk-through and punch list completion
- Certificate of occupancy acquisition
- Warranty documentation and O&M manuals
- Staff training for building systems



## REGULATORY COMPLIANCE REQUIREMENTS

### WASHINGTON STATE REQUIREMENTS

- **Prevailing Wage:** All work must comply with Washington State Prevailing Wage requirements (RCW 39.12)
- **Apprenticeship Utilization:** Minimum 15% apprentice utilization hours (RCW 39.04.320) – or a request for a waiver.
- **Local Employment:** Preference for local hiring when possible
- **Women and Minority Business Enterprise (WMBE):** Good faith effort to utilize certified WMBE subcontractors
- **Washington State Evergreen Sustainable Development Standard:** The standard uses a point system that rewards sustainable building practices such as site location, water conservation, energy efficiency, and use of environmentally-conscious materials.

### BUILDING CODES & STANDARDS

- **Building Codes:** IRC 2021, IBC 2021, WSEC 2021, Olympia Municipal Code
- **Construction Type:** VB with sprinkler system required
- **Accessibility:** Full ADA and Fair Housing Act compliance
- **Sustainability:** Washington State Evergreen Sustainable Development Standards
- **Zoning Compliance:** City of Olympia R 4-8 zoning requirements

### WASHINGTON STATE HOUSING TRUST FUND COMPLIANCE

- **Project Labor Standards:** Compliance with all WSHTF labor requirements
  - **Minority/Women/Disadvantaged Business Enterprise:** Meet WSHTF goals for utilization
  - **Reporting Requirements:** Provide all required WSHTF progress and compliance reporting
  - **Environmental Review:** Comply with SEPA requirements
  - **Historic Preservation:** Compliance with applicable preservation requirements
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# PROPOSAL REQUIREMENTS

## TECHNICAL PROPOSAL MUST INCLUDE:

### 1. Company Qualifications

- Washington State General Contractor License number
- Minimum 5 years experience with affordable housing projects
- Experience with accessible/senior housing construction
- Experience with Housing Trust Fund or similar public funding projects using prevailing wage
- Current bonding capacity and insurance certificates

### 2. Project Team

- Project manager and superintendent qualifications
- Key personnel experience with similar projects
- Subcontractor qualification process
- Safety management plan and EMR rating

### 3. Technical Approach

- Construction methodology and sequencing
- Quality control and assurance procedures
- Schedule management approach
- Material procurement and logistics plan

### 4. Schedule

- Detailed project schedule with critical milestones
- Identification of potential delays and mitigation strategies
- Coordination with permitting and inspection processes

### 5. Safety Plan

- Comprehensive safety management program
- Site safety procedures and protocols
- Worker safety training requirements



## **COST PROPOSAL MUST INCLUDE:**

### **1. Total Project Cost Breakdown**

- Detailed line-item pricing for all scope elements
- Unit costs where applicable
- Labor costs with prevailing wage rates
- Material costs with current pricing validity

### **2. Alternative Pricing**

- Value engineering opportunities
- Optional scope additions or deletions
- Cost for accelerated schedule if required

### **3. Allowances and Contingencies**

- Defined allowances with clear scope limits
- Contingency amounts and conditions for use
- Change order pricing methodology

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## **EVALUATION CRITERIA**

Proposals will be evaluated based on the following weighted criteria:

### **1. Experience and Qualifications (25%)**

- Relevant affordable housing construction experience
- Senior housing and accessibility experience
- Public funding project experience
- References from similar projects

### **2. Technical Approach (25%)**

- Construction methodology and quality
- Schedule feasibility and management
- Safety program and record
- Problem-solving capabilities



### 3. **Cost Competitiveness (35%)**

- Total project cost reasonableness
- Cost breakdown clarity and completeness
- Value engineering opportunities
- Change order pricing fairness

### 4. **Compliance and Capacity (15%)**

- Regulatory compliance understanding
- Bonding and insurance adequacy
- Current workload and availability
- Local workforce utilization plan

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## SUBMISSION REQUIREMENTS

### PROPOSAL SUBMISSION:

- **Due Date:** October 1, 2025
- **Delivery:** Submit one (1) original - electronic PDF version is acceptable
- **Page Limit:** Technical proposal limited to 50 pages (excluding forms and certifications)

### REQUIRED FORMS AND CERTIFICATIONS:

- Washington State Contractor License (current)
- Certificate of Insurance (minimum \$2M general liability, \$1M professional liability)
- Bonding capacity letter (minimum \$2M)
- Prevailing wage compliance affidavit
- WMBE utilization plan
- WSHTF compliance certification
- References from three (3) similar projects completed within last 5 years

### DELIVERY ADDRESS:

**Homes First** 5203 Lacey Blvd Ste. A, Lacey, WA 98503

**Attention:** Trudy Soucoup, CEO

**Email:** [ceo@homesfirst.org](mailto:ceo@homesfirst.org) **Phone:** 360-915-7513



## CONTRACT TERMS

### CONTRACT TYPE:

Lump Sum Contract with defined allowances and unit prices for changes

### PERFORMANCE REQUIREMENTS:

- Performance Bond: 100% of contract amount
- Payment Bond: 100% of contract amount
- Warranty: 1 year comprehensive, 2 years on major systems
- Liquidated Damages: \$500 per day for delays beyond substantial completion
- Retainage: 5% held until final completion and acceptance

### INSURANCE REQUIREMENTS:

- General Liability: \$2,000,000 per occurrence
- Professional Liability: \$1,000,000 per claim
- Workers Compensation: As required by Washington State
- Automobile: \$1,000,000 combined single limit
- Builder's Risk: Full replacement value

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## PROPOSED PROJECT TIMELINE

### Anticipated Schedule:

- RFP Release: 08.25.2025
  - Pre-bid Meeting: 09.15.2025 at project site
  - Questions Due: 09.19.2025
  - Proposals Due: 10.01.2025
  - Contractor Selection: 10.15.2025
  - Contract Execution: 10.31.2025
  - Notice to Proceed: TBD
  - Substantial Completion: May 2027
  - Final Completion: September 2027
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## **ADDITIONAL CONTACT INFORMATION**

**Project Manager:** Ron Stewart  
**Phone:** 360-236-0920 x206  
**Email:** [projects@homesfirs.org](mailto:projects@homesfirs.org)

**Pre-Bid Meeting:** Mandatory attendance required  
**Date:** 09.15.2025  
**Time:** 10:00am  
**Location:** 721 O'Farrell Avenue SE, Olympia, WA 98501

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## **ADDITIONAL REQUIREMENTS**

### **SUSTAINABLE CONSTRUCTION:**

Project must comply with Washington State Evergreen Sustainable Development Standards, including energy efficiency measures and sustainable building practices.

### **COMMUNITY ENGAGEMENT:**

Contractor must coordinate with neighborhood and provide regular project updates to minimize construction impacts on adjacent residents.

### **UTILITY COORDINATION:**

Contractor responsible for coordination with all utility providers for new service connections and any required utility relocations.

### **PERMITS AND APPROVALS:**

All permits, fees, and regulatory approvals are included in contractor scope unless specifically excluded. Close coordination required with City of Olympia building and planning departments.

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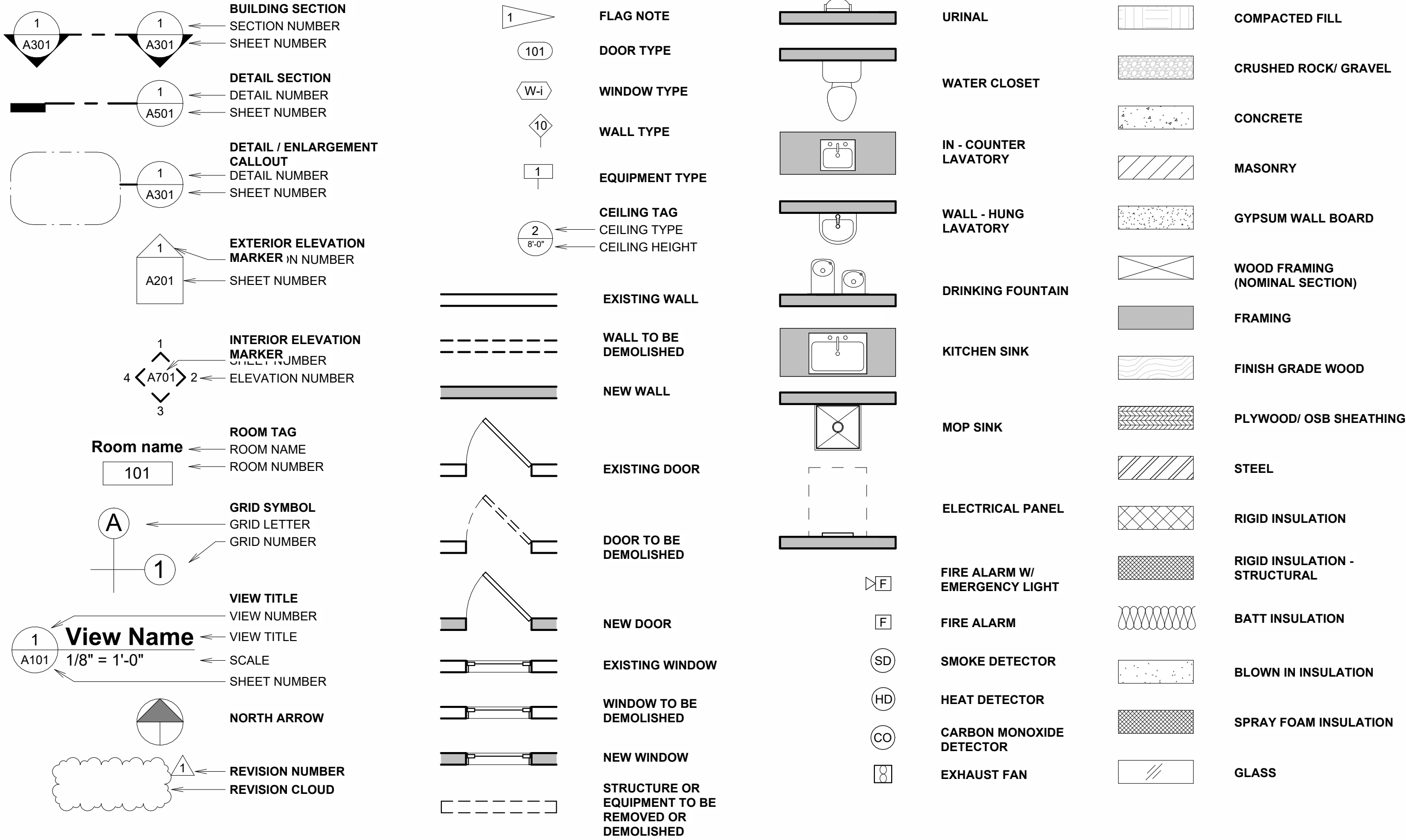
**Homes First reserves the right to reject any or all proposals, negotiate with selected contractors, and award contracts in the best interest of the project and organization.**



ABBREVIATIONS

<b>A</b> AFF ACP ABS ADH ADJ ADMIN AGGR A/C ALT ALUM AIA ADA AB APT APPD APPROX ARCH A/E AV AUTO ADC	Above Finished Floor Acoustical Ceiling Panel Acrylonitrile Butadiene Styrene Adhesive Adjacent Administration Aggregate Air Conditioning Alternate Aluminum American Institute of Architects Americans with Disabilities Act Anchor Bolt Apartment Approved Approximate Architectur Architect/Engineer Audio visual Automatic Automatic Door Closer	<b>D</b> DIA DIM DW DIST DL DEMO DEPT D-B DR DBL DH DJ DF DS DFTG DWG DX OUT d	Diameter Dimension Dish Washer Distance Dead Load Demolition Department Design Build Door Double Double Hung Double Joist Douglas Fir Down Spout Drafting Drawing Duplex Outlet Penny	<b>G</b> GALV GL GLB GB GYM GWB	Galvanize Glass (or) Glazed Glue Laminated Beam Grab Bar Gymnasium Gypsum Wall Board	<b>M</b> MECH MTG MTL MIN MIR	Mechanical Meeting Metal Minimum Mirror	<b>S</b> SCHED S CONC SHTHG SIM SH SD SC S SPEC SQ SF ST SS STD STOR STRUCT SUSP SYM	Schedule Sealed Concrete Sheathing Similar Single Hung Smoke Detector (or) Soap Dispenser Solid core South Specification Square Square Feet Stain Stainless Steel Standard Storage Structural Suspended Symbol
<b>B</b> BKG BALC BSMT BM BRG BR BTWN BD BO BLVD BRCG BRDG BTU BLDG BP	Backing Balcony Basement Beam Bearing Bedroom Between Board Bottom Of Boulevard Bracing Bridging British Thermal Unit Building Building Paper	<b>E</b> EA EW ESMT E EOS ELEC EWH EL ENGR EST EQ EQUIP (E) EJ EB EXT	Each Each Way Easement East Edge of Slab Electric Electric Water Heater Elevation Engineer Estimate Equal Equipment Existing Expansion Joint Expansion Bolt Exterior	<b>I</b> ID INSTL INSUL INT IRC	Identification (or) Inside Diameter Install Insulation Interior International Residential Code	<b>P</b> PTD PRKG PK LT PAV PW +/- P PVC PT CONC PT PREFAB PRELIM PREV PROP	Paper Towel Dispenser Parking Parking Lot Paving Plywood Plus or Minus Polished Polyvinyl Chloride (plastic) Post-Tensioned Concrete Pressure Treated Prefabricated Preliminary Previous Property	<b>T</b> TEL TV TEMP THK TPD T&G TOPO TO TOS TB T TYP	Telephone Television Temporary Thickness Toilet Paper Dispenser Tongue and Groove Topography Top of Top of Slab Towel Bar Tread (or) Top (or) Trimmed (or) Tempered Typical
<b>C</b> CAB CPT CSMT CLG CEM CTR C C/C CHK CR COL CONC CMU CONSTR CD CTRL CJ CONT CNR CU	Cabinet Carpet Casement Ceiling Cement Center Center Line Center to Center Check Closet Rod Column Concrete Concrete Masonry Unit Construction Construction Documents Control Control Joint Continuous (or) Contractor Corner Cubic	<b>F</b> FOC FOS FT FV FIN FF FFL FIN GR FPL FA FACP FEC FH FXT FTG FLG FD FL FLOUR FRMG FURN FUR	Face of Concrete Face of Stud Feet (or) Foot Field Verify Finish Finish Face (or) Finish Floor (or) Factory Finish Finish Floor Level Finish Grade Fireplace Fire Alarm Fire Alarm Control Panel Fire Extinguisher Cabinet Fire Hydrant Fixture Flooring Floor Drain Floor Line Fluorescent Framing Furnace Furring (or) Furred	<b>J</b> JAL JAN JNT JST J-BOX	Jalousie Janitor Joint Joist Junction Box	<b>K</b> KP KD K KIT KO	Kick Plate Klin Dried (or) Knock Down Klips (or) 1000 lbs Kitchen Knockout	<b>V</b> VENT VERT VG VOL VB	Ventilation Vertical Vertical Grain Volume Vinyl Base (or) Vapor Barrier
<b>L</b> LS LAM LATL LAV LP LF LIN LL LBR LBS	Landscape Laminate Lateral Lavatory Light Pole Linear Feet Linen Closet Live Load Lumber Pounds	<b>M</b> MFRD MFR MAT MAX	Manufactured Manufacturer (or) Manufacturing Material Maximum	<b>R</b> R RLG RH ROW RECPT RECT RCP REF REBAR RR REQD RD RM RO RB	Radius Railing Right Hand Right of Way Receptacle (or) Reception Rectangle Reflected Ceiling Plan Refrigerator Reinforced Steel Bars Rest Room Required Roof Drain Room Rough Opening Round Diameter Rubber Base	<b>Q</b> QUAD QTY QTR	Quadrant Quantity Quarter	<b>W</b> WSC WP WC WH WL WRB WT W WWM WD	Wainscot Waterproof Water Closet Water Heater Water Line Weather Resistant Barrier Weight West (or) Wide (or) Width Wire Welded Mesh Wood
<b>Y</b> YD YR	Yard Year								

SYMBOLS LEGEND



ENERGY CODE

2021 WASHINGTON STATE ENERGY CODE

<b>ENERGY CREDITS: ___ CREDITS REQ.</b>	
1 HEAT PUMP	= 1.0
1.4 EFFICIENT BUILDING ENVELOPE	= 1.0
2.2 AIR LEAKAGE EFFICIENCY	= 1.0
3.6 HIGH EFFICIENCY HVAC	= 2.0
5.4 EFFICIENT WATER HEATING	= 1.5
7.1 APPLIANCE PACKAGE	= 0.5
<b>TOTAL CREDITS</b>	<b>= 7</b>

<b>2021 WA ENERGY CODE</b>	
VERT FENESTRATION	=U.25 (OR BETTER)
FENESTRATION	=U.3
SKYLIGHT	=U.5
=R38", R49", OR R60	
WALL	=R20 + R-5ci, R13 + 10ci, (OR BETTER)
FLOOR	=R30 (OR BETTER)

<b>2021 WA ENERGY CODE CONT'D</b>	
BASEMENT WALL	=R20ci + R5ci
BELOW GRADE WALL	=10/15/21 +5lb
SLAB	=R10 (4FT)
BELOW GRADE SLAB	=R10
* MIN FOR VAULTED CEILINGS.	
** MIN FOR CEILING W/ATTIC SPACES	

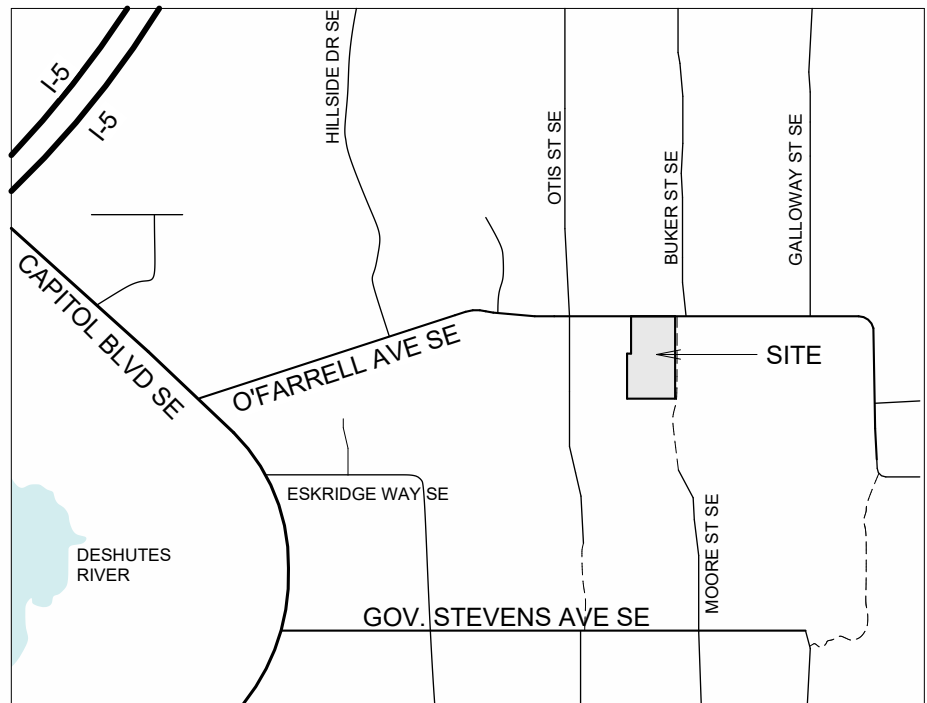
- NOTES:**
- ALL PLUMBING FIXTURES AND FIXTURE FITTINGS TO MEET RELEVANT REQUIREMENTS OF WAC 51-56-0400, CHAPTER 4
  - APPLIANCES TO BE ENERGY STAR RATED
  - SEE BUILDING SECTIONS FOR R-VALUE MINIMUMS



GENERAL NOTES

- ALL WORK PERFORMED SHALL COMPLY WITH THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON THE DRAWINGS AND SPECIFICATIONS. THE GENERAL CONTRACTOR SHALL COORDINATE THE GENERAL NOTES WITH THE WORK OF ALL TRADES, INCLUDING BUT NOT LIMITED TO THE MECHANICAL AND ELECTRICAL TRADES.
- THE CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREOF. THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL CONDITIONS OF THE PROJECT AND SHALL NOTIFY THE OWNER/ARCHITECT OF CONDITIONS REQUIRING MODIFICATION BEFORE PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACCURATE PLACEMENT OF THE NEW BUILDING ADDITIONS TO THE SITE.
- WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS BY VARIOUS DISCIPLINES THE CONTRACTOR SHALL CONSULT THE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
- CONDITIONS WHICH ARE NOT DETAILED SHALL BE ASSUMED TO BE SIMILAR IN CHARACTER TO THOSE WHICH ARE. WHERE SPECIFIC DIMENSIONS, DETAILS, OR DESIGN CANNOT BE DETERMINED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- CONSTRUCTION OF WORK INDICATED ON DRAWINGS AS N.I.C. IS NOT IN CONTRACT. THE CONTRACTOR SHALL COORDINATE ALL TRADES OF HIS WORK, WHETHER DIRECTLY OR INDIRECTLY INVOLVED, WITH N.I.C. WORK.
- ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF ALL APPLICABLE CODES AND GOVERNING AUTHORITIES AND SHALL BE OF BEST PRACTICE OF EACH TRADE.
- ALL DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALE.
- ALL DIMENSIONS SHALL BE VERIFIED IN THE FIELD PRIOR TO PROCEEDING WITH THE WORK. THE CONTRACTOR IS TO NOTIFY THE ARCHITECT OF ANY DISCREPANCIES.
- FINISHED FLOOR ELEVATIONS ARE TOP OF CONCRETE UNLESS NOTED OTHERWISE.
- THE FLAME SPREAD RATING FOR ALL MATERIALS SHALL CONFORM TO ALL APPLICABLE CODES.
- ANY DECORATIONS ON INTERIOR WALLS OR CEILINGS SHALL BE NONCOMBUSTIBLE OR FIRE RETARDANT TREATED TO COMPLY WITH FLAME SPREAD AND SMOKE DEVELOPMENT CODE REQUIREMENTS.
- REFER TO MECHANICAL AND MANUFACTURERS TEMPLATE DRAWINGS FOR MECHANICAL EQUIPMENT SUPPORTS, BOLT SETTING TEMPLATES, SPRING AND VIBRATION ISOLATORS, OR OTHER EQUIPMENT NOT SHOWN ON DRAWINGS.
- PROVIDE PROPER ANCHORAGE OF ALL EQUIPMENT IN ACCORDANCE WITH APPLIANCE CODES.
- ALL PIPE DUCTS, BUSS DUCTS AND CONDUITS THAT PENETRATE FLOOR SLABS AND/OR RATED WALLS SHALL BE INSTALLED IN A MANNER WHICH WILL PRESERVE THE FIRE RESISTIVE AND STRUCTURAL INTEGRITY OF THE BUILDING.
- COORDINATE PLACEMENT OF ALL CEILING ELEMENTS WITH MECHANICAL, ELECTRICAL AND CEILING INSTALLER. WHERE DISCREPANCIES EXIST BETWEEN DRAWINGS AND INSTALLATION THE GENERAL CONTRACTOR SHALL CONSULT WITH THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL STIFFENERS, BRACING, BACK-UP PLATES AND SUPPORTING BRACKETS REQUIRED FOR THE INSTALLATION OF ALL TOILET ROOM ACCESSORIES AND PARTITIONS AND ALL WALL MOUNTED OR SUSPENDED ITEMS INCLUDING HARDWARE, MECHANICAL, ELECTRICAL, AND MISCELLANEOUS EQUIPMENT.
- THE CONTRACTOR SHALL VERIFY ALL CONCRETE OPENINGS IN THE FIELD PRIOR TO DEMOLITION.
- ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER TO PREVENT MOLECULAR BREAKDOWN AND GALVANIC ACTION.
- CONTRACTOR SHALL PROTECT THE PUBLIC FROM WORK AND STAGING AREAS AT ALL TIMES. SECURE CONSTRUCTION AREAS AT THE END OF EACH WORKDAY.
- USE OF TOBACCO PRODUCTS AND CONTROLLED SUBSTANCES ARE PROHIBITED ON PROPERTY.

VICINITY MAP



PROJECT DESCRIPTION

THERE IS AN EXISTING SINGLE-FAMILY RESIDENCE OWNED BY HOMES FIRST LOCATED ON THE SITE. THE PROPOSED ADDITION TO THE SITE AS OUTLINED ON A010 IS A 480SF, PRE-APPROVED ADU.

SITE DATA

PARCEL: 83700000801  
ADDRESS: 721 OFARRELL AVE SE, OLYMPIA, WA 98501  
JURISDICTION: CITY OF OLYMPIA  
ZONING: R 4-8  
LEGAL DESCRIPTION: WILDWOOD PK L 8 N 220F LESS N 5F RD & EASE & W 10F OF N 12 OF & N  
BUILDING CODE: IRC 2021, IBC 201, WSEC 2021, OMC  
LOT SIZE: 30.972S SF (71 ACRES)  
SETBACKS:  
FRONT - 20' OR 10' WHEN SIDE OR REAR PARKING PER OMC 18.04.080 TABLE 4.04  
SIDES - 5'  
BACK - 20' OR 10' FOR COTTAGES PER OMC 18.04.080 TABLE 4.04  
CONSTRUCTION TYPE: VB  
SPRINKLERED: YES  
MAX BUILDING HEIGHT: 35'  
MAX BUILDING COVERAGE: 40%, 12,388SF W/DSFR  
MAX IMPERVIOUS SURFACE: 70%, 21,680 SF W/DSFR  
MAX HARD SURFACE: 20%, 21,680 SF. W/DSFR

BUILDING SQUARE FOOTAGE

<b>HOUSE</b>	
(E) HOUSE FOOTPRINT	= 924SF
ADU ADDITION (1)	= 480SF
FUTURE ADU ADDITION (2)	= 480SF
FUTURE ADU ADDITION (3)	= 600SF
FUTURE ADU ADDITION (4)	= 600SF

CONTACTS

**PROPERTY OWNER:**  
NAME: HOMES FIRST - OFARRELL  
ADDRESS: 5203 LACEY BLVD SE, STE A., LACEY, 98503  
PHONE: (360) 742-0894  
EMAIL: CEO@HOMESFIRST.ORG

**CIVIL ENGINEER:**  
NAME: IRIS GROUP  
ADDRESS: 1107 W BAY DR NW UNIT 101A, OLYMPIA, WA 98502  
CONTACT: NICHOLAS TAYLOR  
PHONE: (360) 890-8955  
EMAIL: CONTACT@IRISGROUPCONSULTING.COM

**ARCHITECT:**  
ARTISANS GROUP ARCHITECTURE + PLANNING, PS  
6504 CAPITOL BLVD SE  
TUMWATER, WA 98501  
CONTACT: JASON TAEILLIOUS  
PHONE: (360) 570-0826  
EMAIL: JASON@ARTISANSGROUP.COM

ARTISANS GROUP  
ARCHITECTURE + PLANNING



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NOT FOR  
CONSTRUCTION

HOMES FIRST OFARRELL

**OWNER ADDRESS:**  
5203 LACEY BLVD SE,  
LACEY, WA 98503

**SITE ADDRESS:**  
721 OFARRELL AVE SE,  
OLYMPIA, WA 98501

**PROJECT NUMBER:**  
83700000801

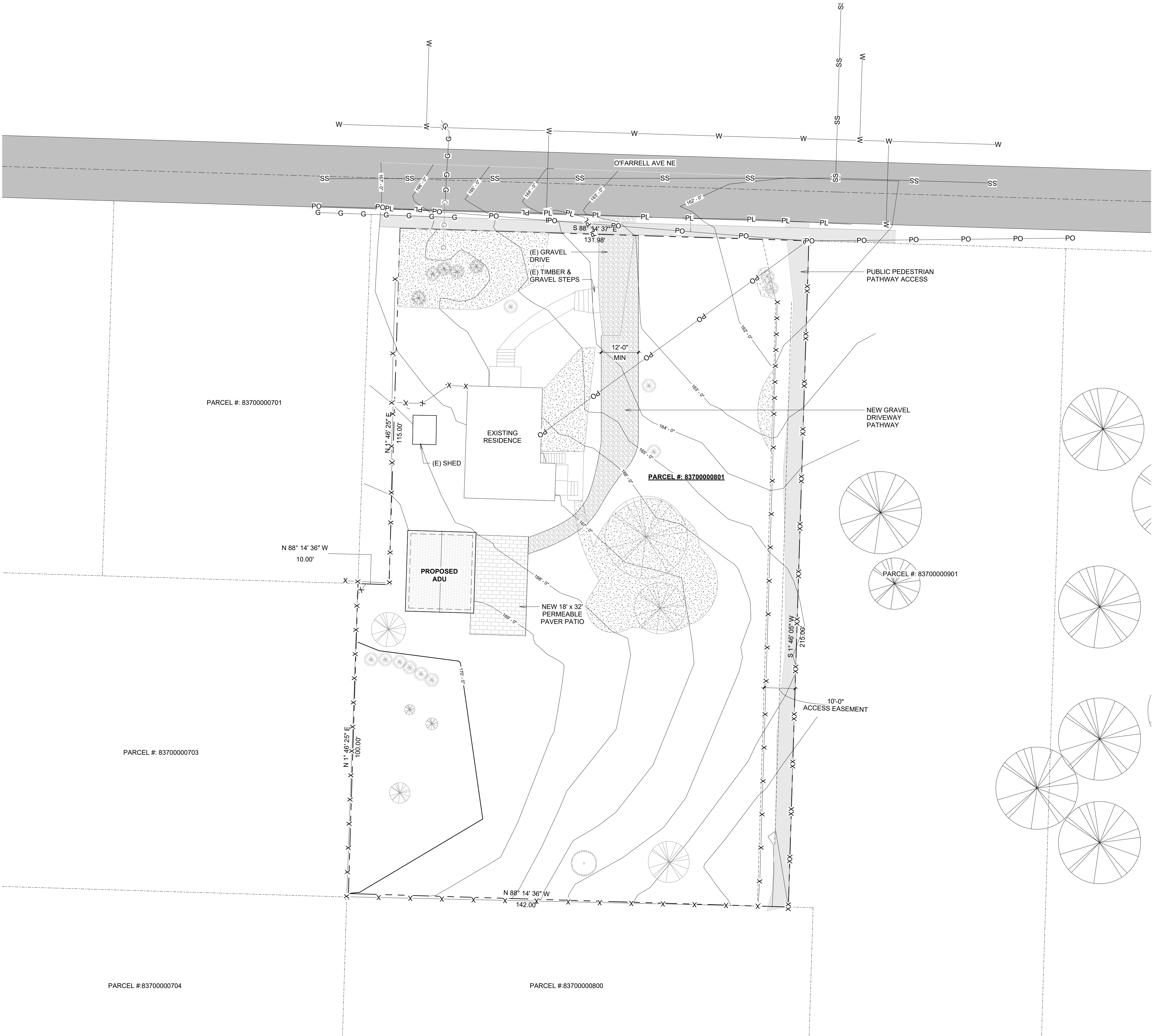
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Drawn By: SMB  
Issue Date: 6/30/25  
Print Date: 6/30/2025  
11:16:29 AM  
Revisions:  
Rev # Description Date

PERMITTING

COVER PAGE

G000





SITE DATA

PARCEL: 83700000801  
ADDRESS: 721 O'FARRELL AVE SE, OLYMPIA, WA 98501  
JURISDICTION: CITY OF OLYMPIA  
ZONING: R 4-B  
LEGAL DESCRIPTION: WILDWOOD PK L 8 N 220' LESS N 5' RD & EASE & W 10' OF N 12' OF & N  
BUILDING CODE: IRC 2021, IBC 201, WSEC 2021, OMC  
LOT SIZE: 30,972S SF (71 ACRES)  
SETBACKS:  
FRONT - 20' OR 10' WHEN SIDE OR REAR PARKING PER OMC 18.04.080 TABLE 4.04  
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CONSTRUCTION TYPE: VB  
SPRINKLERED: YES  
MAX BUILDING HEIGHT: 35'  
MAX BUILDING COVERAGE: 40%, 12,388SF W/DSFR  
MAX IMPERVIOUS SURFACE: 70%, 21,680 SF W/DSFR  
MAX HARD SURFACE: 20%, 21,680 SF W/DSFR

PROPOSED AREAS

NEW TOTAL BUILDING COVERAGE:	= 1490 SF
-NEW ADU	= 480 SF
-(E) RESIDENCE	= 924 SF
NEW TOTAL IMPERVIOUS COVERAGE:	= 2763 SF
-(E) RESIDENCE	= 1500 SF
-(E) PATHING	= 212 SF
- NEW ADU	= 575 SF
- NEW PATHING	= 476 SF

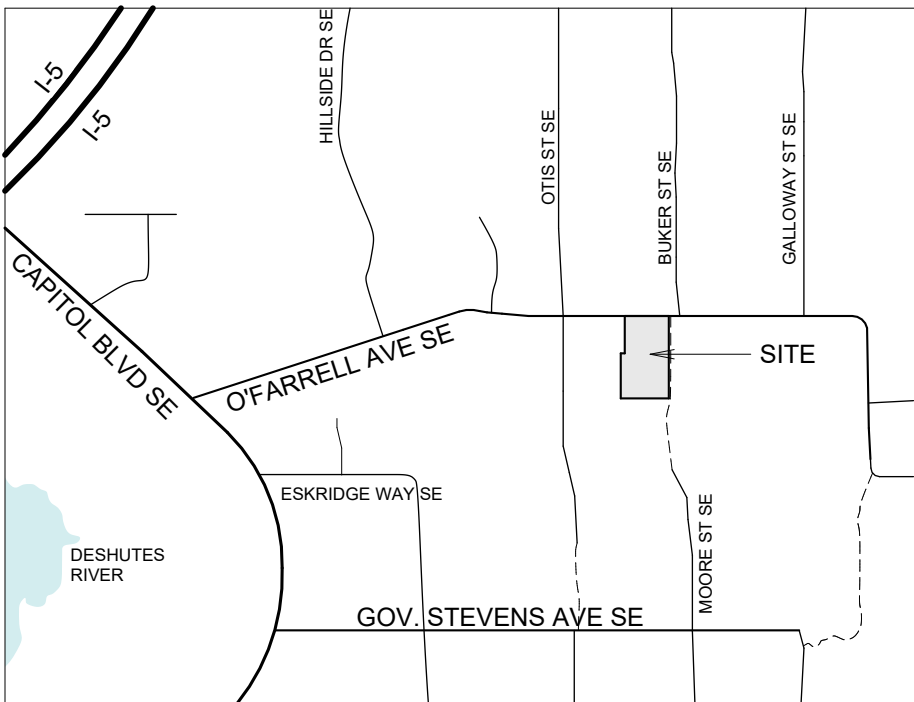
SITE PLAN DISCLAIMER

NOTE: INFORMATION SHOWN ON DOCUMENT SET HAS BEEN GATHERED FROM A COMBINATION OF PUBLIC SOURCES, SITE OBSERVATIONS, AND 3RD PARTIES. ALL INFORMATION NOTED IS SUBJECT TO VERIFICATION. ARTISANS GROUP ARCHITECTURE AND PLANNING ASSUMES NO RESPONSIBILITY FOR SURVEYING SITE STRUCTURES, BUILDING ORIENTATION, AND/OR SIZE OF FEATURES NOTED ON PLANS. PROPERTY LINES, FEATURES, AND STRUCTURES TO BE FIELD VERIFIED BY SURVEYOR OR GENERAL CONTRACTOR.

SITE PLAN LEGEND

CONTOUR ELEVATION	---XX'XXX---
PROPERTY LINE	----
PROPRTY LINE SETBACKS	----
CONTOURS	----
UTILITY EASEMENT	----
EXISTING STRUCTURE	----
EXISTING SITework	----
ROAD CENTERLINE	----
WOOD FENCE	X-----X-----X
WIRE FENCE	X-----X-----X-----X-----X
CHAIN LINK FENCE	XX-----XX-----XX
PHONE LINE	PL-----PL-----PL
SANITARY SEWER	SS-----SS-----SS
WATER	W-----W-----W
POWER OVERHEAD	PO-----PO-----PO
SIDEWALKS	=====
ROAD	=====
SITE PLANTINGS	=====
GRAVEL	=====
HEDGE	=====
EXISTING TREES & SHRUBS	=====

VICINITY MAP



ARTISANS GROUP  
ARCHITECTURE + PLANNING



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NOT FOR  
CONSTRUCTION

HOMES FIRST O'FARRELL

SITE ADDRESS:

721 O'FARRELL AVE SE,  
OLYMPIA, WA 98501

PROJECT NUMBER:

83700000801

Designed By: TB, RC

Drawn By: SMB

Issue Date: 6/30/25

Print Date: 6/30/2025  
11:16:31 AM

Revisions:

Rev #	Description	Date
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PERMITTING

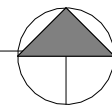
SITE PLAN

A010

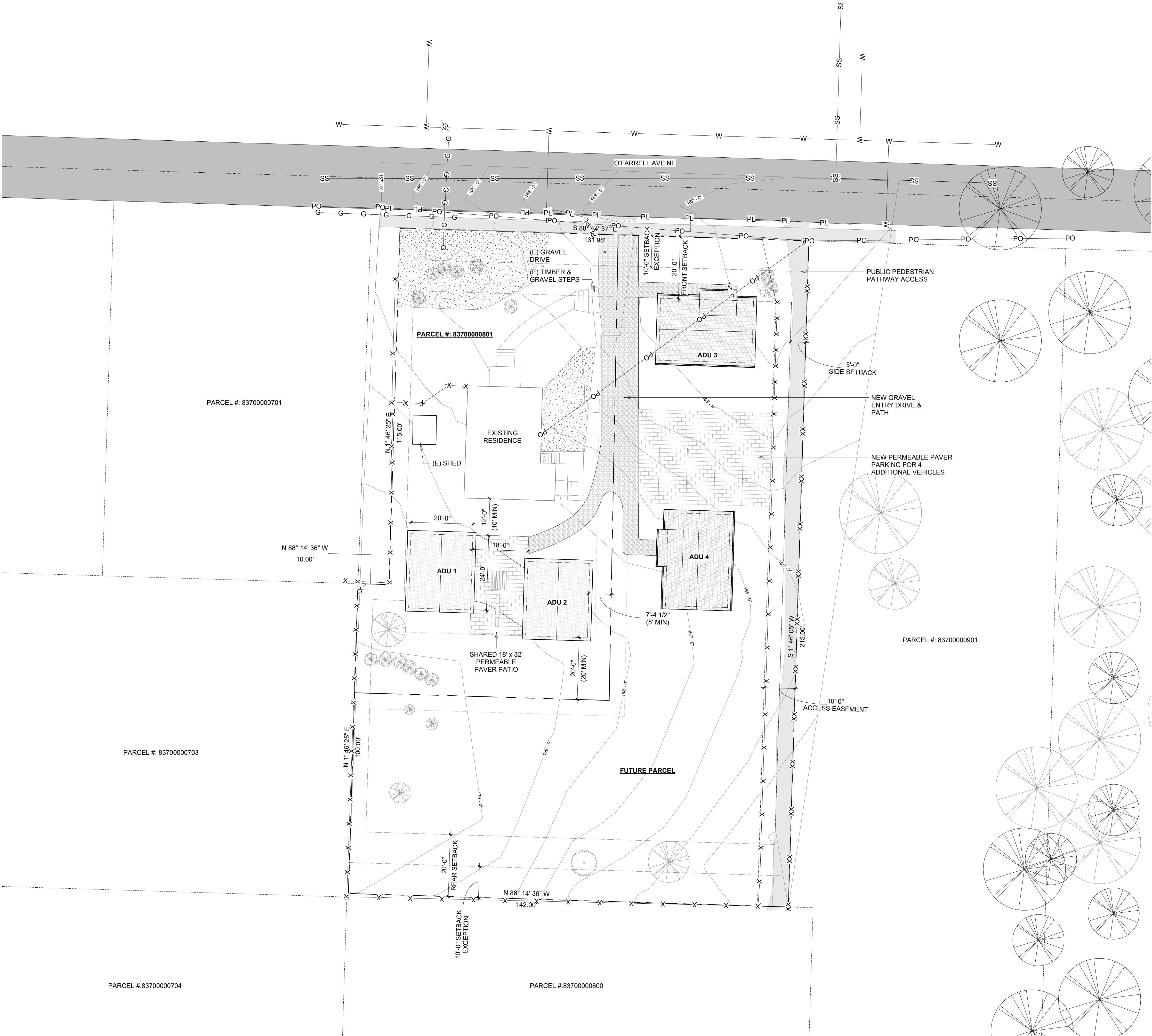
SITE PLAN

1/16" = 1'-0"

0' 10' 20' 40'







SITE DATA

PARCEL: 83700000801  
ADDRESS: 721 O'FARRELL AVE SE, OLYMPIA, WA 98501  
JURISDICTION: CITY OF OLYMPIA  
ZONING: R 4-B  
LEGAL DESCRIPTION: WILDWOOD PK L 8 N 220' LESS N 5'F RD & EASE & W 10'F OF N 12 0'F & N  
BUILDING CODE: IRC 2021, IBC 201, WSEC 2021, OMC  
LOT SIZE: 30,972S SF (71 ACRES)  
SETBACKS:  
FRONT - 20' OR 10' WHEN SIDE OR REAR PARKING PER OMC 18.04.080 TABLE 4.04  
SIDES - 5'  
BACK - 20' OR 10' FOR COTTAGES PER OMC 18.04.080 TABLE 4.04  
CONSTRUCTION TYPE: VB  
SPRINKLERED: YES  
MAX BUILDING HEIGHT: 35'  
MAX BUILDING COVERAGE: 40%, 12,388SF W/DSFR  
MAX IMPERVIOUS SURFACE: 70%, 21,680 SF W/DSFR  
MAX HARD SURFACE: 20%, 21,680 SF W/DSFR

PROPOSED AREAS

NEW TOTAL BUILDING COVERAGE:	= 3170 SF
-(E) RESIDENCE	= 1010 SF
-NEW ADU 1	= 480 SF
-NEW ADU 2	= 480 SF
-NEW ADU 3	= 600 SF
-NEW ADU 4	= 600 SF
NEW TOTAL IMPERVIOUS COVERAGE:	= 7942 SF
-(E) RESIDENCE	= 1500 SF
-(E) PATHING	= 212 SF
- NEW ADU 1	= 572 SF
- NEW ADU 2	= 572 SF
- NEW ADU 3	= 728 SF
- NEW ADU 4	= 728 SF
- NEW DRIVEWAY, PORCHES & PATIO	= 2344 SF
- NEW PARKING	= 1286 SF

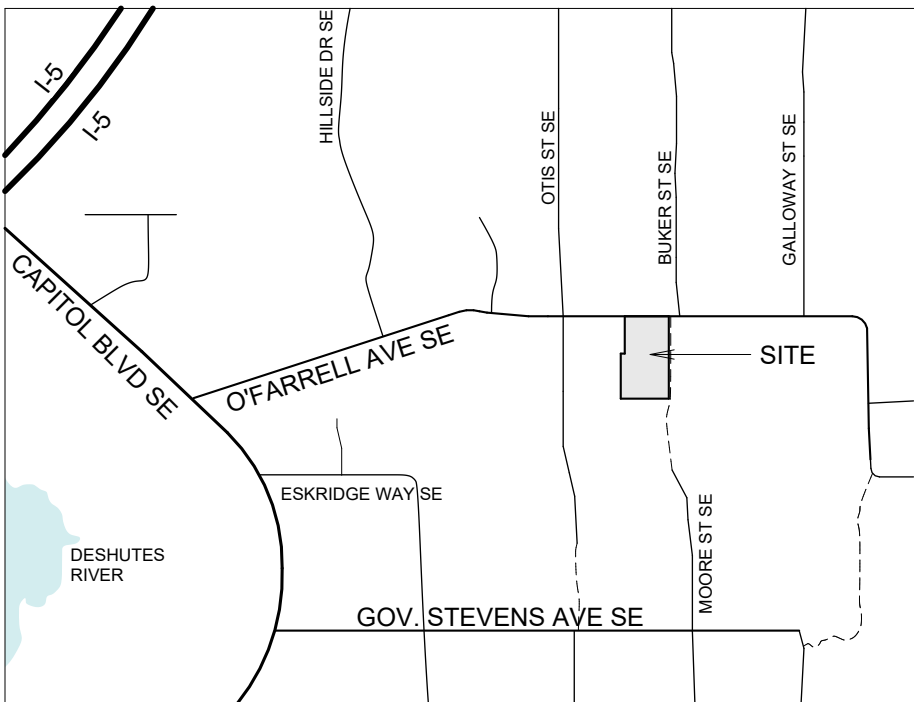
SITE PLAN DISCLAIMER

NOTE: INFORMATION SHOWN ON DOCUMENT SET HAS BEEN GATHERED FROM A COMBINATION OF PUBLIC SOURCES, SITE OBSERVATIONS, AND 3RD PARTIES. ALL INFORMATION NOTED IS SUBJECT TO VERIFICATION. ARTISANS GROUP ARCHITECTURE AND PLANNING ASSUMES NO RESPONSIBILITY FOR SURVEYING SITE STRUCTURES, BUILDING ORIENTATION, AND/OR SIZE OF FEATURES NOTED ON PLANS. PROPERTY LINES, FEATURES, AND STRUCTURES TO BE FIELD VERIFIED BY SURVEYOR OR GENERAL CONTRACTOR.

SITE PLAN LEGEND

CONTOUR ELEVATION	---XXX'---
PROPERTY LINE	-----
PROPOSED PLAT LINE	-----
PROPRTY LINE SETBACKS	-----
PROPOSED PLAN LINE SETBACKS	-----
CONTOURS	-----
UTILITY EASEMENT	-----
EXISTING STRUCTURE	-----
EXISTING SITEWORK	-----
ROAD CENTERLINE	-----
WOOD FENCE	X X X X X
WIRE FENCE	X X X X X
CHAIN LINK FENCE	XX XX XX
PHONE LINE	PL PL PL
SANITARY SEWER	SS SS SS
WATER	W W W
POWER OVERHEAD	PO PO PO
SIDEWALKS	=====
ROAD	=====
SITE PLANTINGS	=====
GRAVEL	=====
HEDGE	=====
EXISTING TREES & SHRUBS	o o o

VICINITY MAP



ARTISANS GROUP  
ARCHITECTURE + PLANNING



6504 Capitol Blvd SE Tumwater, WA 98501 | 360.570.0626 (P) 360.570.0727 (F) | www.artisangroup.com  
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NOT FOR  
CONSTRUCTION

HOMES FIRST O'FARRELL

OWNER ADDRESS:  
5203 LACEY BLVD SE,  
LACEY, WA 98503  
PARCEL NUMBER:  
83700000801  
SITE ADDRESS:  
721 O'FARRELL AVE SE,  
OLYMPIA, WA 98501  
PROJECT NUMBER:

Designed By: TB, RC  
Drawn By: SMB  
Issue Date: 6/30/25  
Print Date: 6/30/2025 11:16:33 AM  
Revisions:  
Rev # Description Date

PERMITTING

SITE MASTER  
PLAN

A011



TOPOGRAPHIC SURVEY  
FOR  
HOMES FIRST  
721 O'FARRELL AVE SE,  
OLYMPIA, WA.  
IN  
THURSTON COUNTY

SURVEYS REFERENCED  
AF# 3260068, AF4384967, AF# 4480340, AF#4485773, AF# 4563014  
PLAT OF WOLDWOOD PARK V.4, PG. 39

**BASIS OF BEARING**  
ASSUMED HELD MONUMENTS AT INTERSECTION OF  
GALLOWAY STREET AND BUKER STREET S88°13'59"E

**METHOD OF SURVEY**  
SURVEY PERFORMED BY CONVENTIONAL FIELD TRAVERSE USING  
TOPCON GTS 1001 ROBOTIC TOTAL STATION. LINEAR AND ANGULAR  
CLOSURE OF THE TRAVERSE MEET THE STANDARDS OF  
WAC 332-130-090.

**BOUNDARY**  
THE BOUNDARY WAS COMPILED USING  
PHYSICAL FEATURES TIED IN THE  
FIELD AND DOCUMENTS OF RECORD  
AS SHOWN BELOW.

**VERTICAL**  
NAVD88

**BENCHMARK**  
HELD O'FARRELL AND OTIS MONUMENT = 172.51  
HELD O'FARRELL & GALLOWAY MONUMENT = 167.41  
MONUMENT AT O'FARRELL & BUKER = 161.06

**SOURCE OF CONTOURS**  
COMPILE FIELD MEASUREMENTS USING  
AUTOCAD CIVIL 3D-224

**SOURCE OF UTILITY MARKINGS**  
UTILITY NOTIFICATION CENTER (callbeforeyoudig.org)  
TICKET #433318420  
"NOTE IF UTILITY WAS NOT MARKED IN FIELD"  
CITY OF OLYMPIA PROVIDED CAD FILE OF CITY  
UTILITIES

**DESCRIPTION:**

THE NORTH 220 FEET OF TRACT 8 OF WILDWOOD  
PARK, AS RECORDED IN VOLUME 9 OF PLATS,  
PAGE 39, EXCEPT THE NORTH 120 FEET OF THE  
WEST 10 FEET THEREOF, AND EXCEPT THE EAST  
8 FEET AND EXCEPT ALSO THE NORTH 5 FEET  
CONVEYED TO THE CITY OF OLYMPIA FOR  
O'FARRELL AVENUE, BY DEED RECORDED JUNE 9,  
1939 UNDER AUDITOR'S FILE NO 321110.

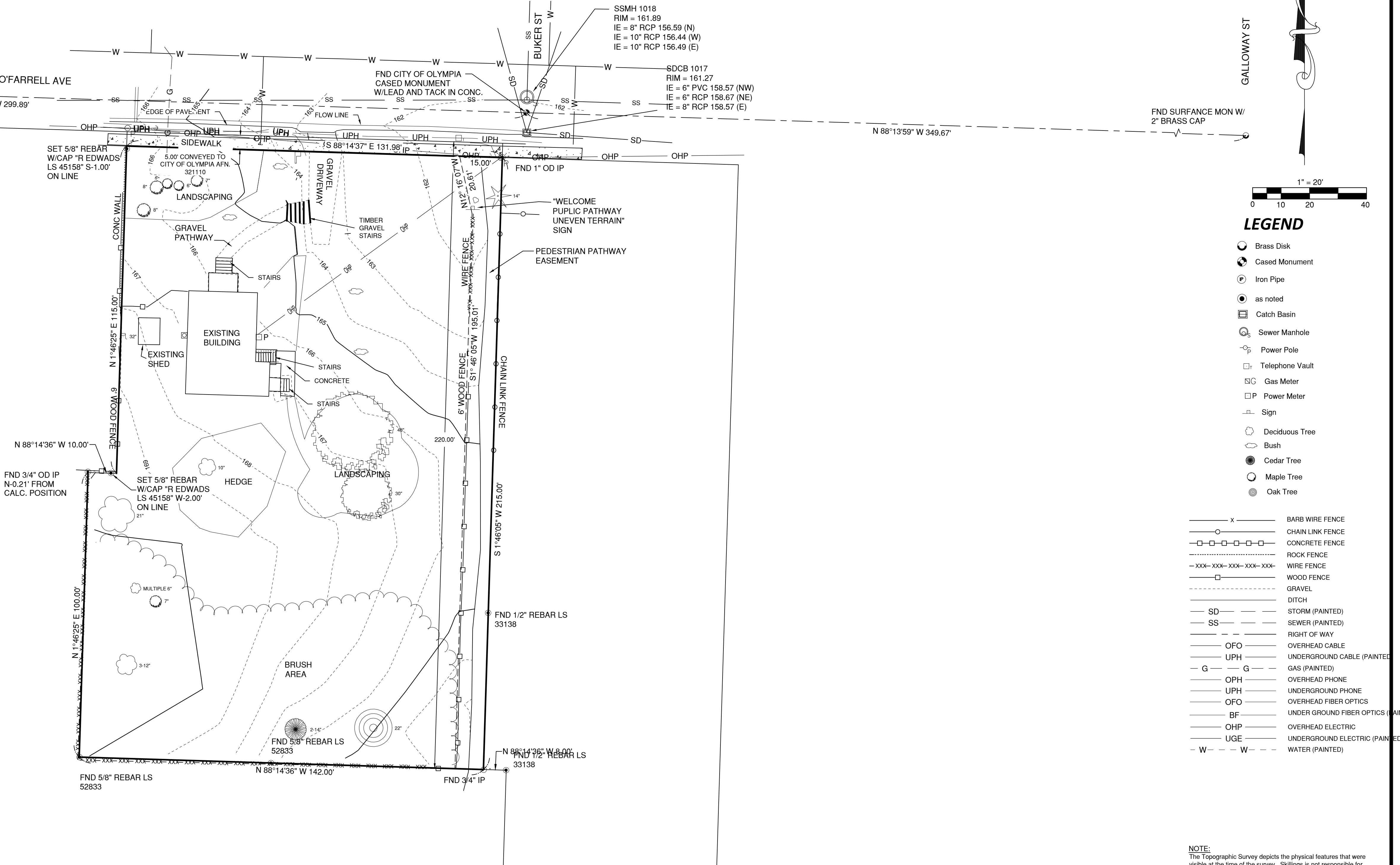
**SURVEYOR'S NOTES**

1. THE SCOPE OF WORK FOR THIS TOPOGRAPHIC  
SURVEY CONSISTED OF MAPPING THE SITE TO  
SHOW EXISTING FEATURES.

3. CONTOURS DERIVED FROM DIRECT FIELD  
OBSERVATION COMPLETED AUGUST, 2023.

4. ELEVATIONS AND CONTOUR ACCURACY PER  
"NATIONAL MAPPING STANDARDS" TO SUPPORT 1  
FOOT CONTOUR INTERVALS.

5. THIS SURVEY HAS BEEN PREPARED FOR THE  
EXCLUSIVE USE OF THE PARTIES WHOSE NAMES  
APPEAR HEREON ONLY, AND DOES NOT EXTEND TO  
ANY UNNAMED THIRD PARTIES WITHOUT THE  
EXPRESS RE-CERTIFICATION BY THE LAND  
SURVEYOR.



**LEGEND**

- Brass Disk
- Cased Monument
- Iron Pipe
- as noted
- Catch Basin
- Sewer Manhole
- Power Pole
- Telephone Vault
- Gas Meter
- Power Meter
- Sign
- Deciduous Tree
- Bush
- Cedar Tree
- Maple Tree
- Oak Tree

- BARB WIRE FENCE
- CHAIN LINK FENCE
- CONCRETE FENCE
- ROCK FENCE
- WIRE FENCE
- WOOD FENCE
- GRAVEL
- DITCH
- STORM (PAINTED)
- SEWER (PAINTED)
- RIGHT OF WAY
- OVERHEAD CABLE
- UNDERGROUND CABLE (PAINTED)
- GAS (PAINTED)
- OVERHEAD PHONE
- UNDERGROUND PHONE
- OVERHEAD FIBER OPTICS
- UNDER GROUND FIBER OPTICS (PAINTED)
- OVERHEAD ELECTRIC
- UNDERGROUND ELECTRIC (PAINTED)
- WATER (PAINTED)

**NOTE:**  
The Topographic Survey depicts the physical features that were  
visible at the time of the survey. Skillings is not responsible for  
the location of underground utilities that are marked or not  
marked in the field by other utility providers. All feature locations  
should be independently verified prior to design or construction.



**SKILLINGS**

5016 Lacey Boulevard SE, Lacey, Washington 98503  
(360) 491-3399 WWW.SKILLINGS.COM

JOB NO. 23054  
S23054 TOPO.DWG

SHEET 1 OF 1